



WEST HARRISON FIRE DEPARTMENT
95 LAKE STREET
WEST HARRISON, NY 10604-9943
WWW.WESTHARRISONFD.ORG



E-23

TO: Richard Dionisio, Supervisor and Members of The Town Board

FROM: Michael Pellegrino, Chief West Harrison Fire Department

RE: Town Board Meeting of May 4, 2023

DATE: April 28, 2023

I respectfully request approval for the contract with WHP for the repair and renovation of our Fire Training Structure at the Nike Base.

I have attached the inspection report done by WHP.

The training structure was completed in 2006 and is approximately 17 years old.

The repairs including material and freight will be \$114,698. Insurance will be provided.

Funding is available in Capital Account 07F110 Fire District #1 Building Fund.

In addition, kindly authorize the Supervisor to execute said contract after review by the Law Department.

Respectfully submitted.



March 21st, 2023

Ref. Number: Q-2317833 (via email)

Mike Pellegrino, Lieutenant
West Harrison Fire Department
95 Lake Street
West Harrison, NY 10604

914-557-4935
mapellegrino@whfdny.org

Dear Lieutenant Pellegrino:

Thank you for your interest in repairing and renovating your WHP fire training structure as per the recommendations set forth in your 2023 Inspection Report. WHP Trainingtowers™ appreciates your consideration for the following:

1. Mobilization of our skilled crews to replace the panels and battens on the burn room walls and ceilings with 376sf of Padgenite Super HD™.
2. Replace the liner panels on the window shutters with 32sf of Padgenite Super HD™.
3. Replace the liner panels on the doors with 32sf of Padgenite Super HD™.
4. Replace the cracked headers and return wraps and sills on shutters and doors in the burn rooms with Padgenite Super HD™.
5. Install Padgenite Super HD™ on the ceiling joists outside of two (2) burn rooms for added protection.
6. Replacing two (2) joists in the 1st floor burn room.
7. Replacing the hollow core double doors with plate steel doors.
8. Replacing the pull handle on the 2nd floor burn room door.
9. Install two (2) new angles on the joist side of the rappelling anchors bringing them up to code.
10. Replace one (1) broken slam latch and handle set.
11. Replace one (1) broken locking door knob set.
12. Replace two (2) door sweeps.
13. Replace two (2) door headers in the 1st floor burn room.
14. Relocate and install one (1) new patch panel.

Materials and Freight:	\$63,805.00
Labor:	\$50,893.00
Total:	\$114,698.00

Page 1 of 2

519 Duck Road, Grandview, MO 64030 | P: 800.351.2525 | www.TrainingTowers.com | Info@TrainingTowers.com

Prevailing Wages: Prevailing wages have been included based on General Decision Number: NY20230017 2/24/2023 for Westchester County New York. If the General Decision is updated or a job specific wage determination is performed wages will be adjusted accordingly and be the responsibility of the owner.

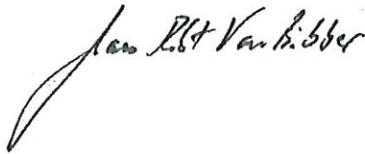
Schedule: WHP would need 2-4 weeks to prepare drawings for the project and approximately 12-14 weeks to schedule. Time required to complete the project would be 1-2 weeks scheduled at a date convenient to both West Harrison Fire Department and WHP Trainingtowers™.

Exclusions: We exclude from our proposal: unloading and storage of materials, bonds, taxes, permits, dumpster, special insurance requirements if any, field painting, mechanical, electrical, fire protection systems, gas fired simulators, concrete work, engineering layout and general condition items and any other miscellaneous fees.

Terms: For materials a deposit of 25% on the building package is due on receipt of order (signing of contract). Balance of payment on materials due on delivery to site. No retention on materials. Labor will be billed monthly. Invoices not in dispute over 30 days will be assessed 1 ½ % per month on balances in excess of 30 days. Financing is available through lease purchase programs.

We hope you will find this proposal acceptable and we look forward to working with you.

Sincerely,



Capt. Rob Van Bibber (Ret.)
WHP TrainingTowers™
1-800-351-2525
robv@trainingtowers.com

Approval

Print Name _____

Signature _____

Date _____

Tax Exempt
Number _____



INSPECTION REPORT

Monday, February 27, 2023

West Harrison Fire Department



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General Overview

Inspection Process

As requested, an inspection was conducted on February 27, 2023. A walk around of the building was conducted to ascertain the general condition of the building and establish an inspection process.

Estimated Age of Structure

It is understood that the structure was originally completed in 2006. The age of the structure is approximately 17 years old.

Weather

The inspection commenced at 1:40 P.M. with a temperature of approximately 40 degrees with partly cloudy skies. The inspection was completed around 3:30 P.M. with a temperature of approximately 40 degrees with partly cloudy skies.

Site Location and Conditions

The site is located at 100 Park Lane, West Harrison, NY 10604. The entrance to the site is gated and at a secure location. The site is asphalt and a concrete apron surrounds the structure.



Exterior Evaluation

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Exterior Evaluation

1. Exterior Evaluation

1.1 Walls

A. Stem Wall

-Stem wall is in good condition.

B. Corrugated Panels

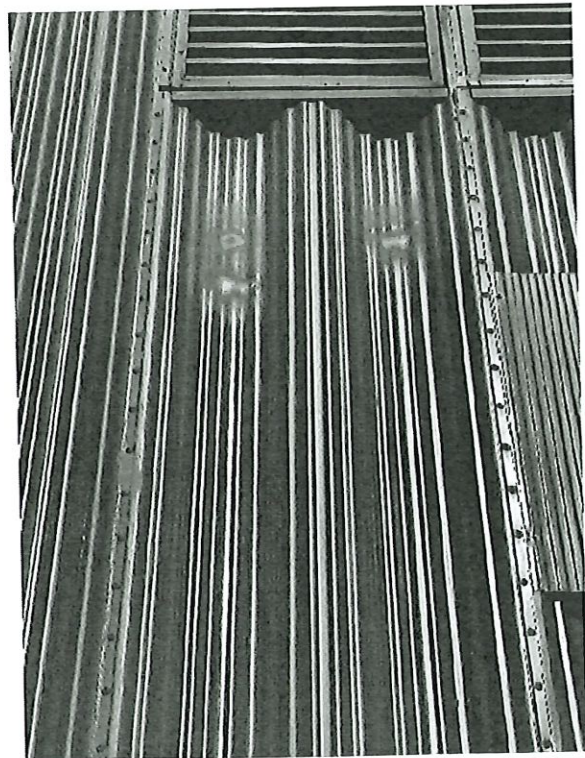
- Corrugated panels appear to be in good condition.

- The panels have several areas of heat damage. Fig 1, Fig 2

Fig 1



Fig 2



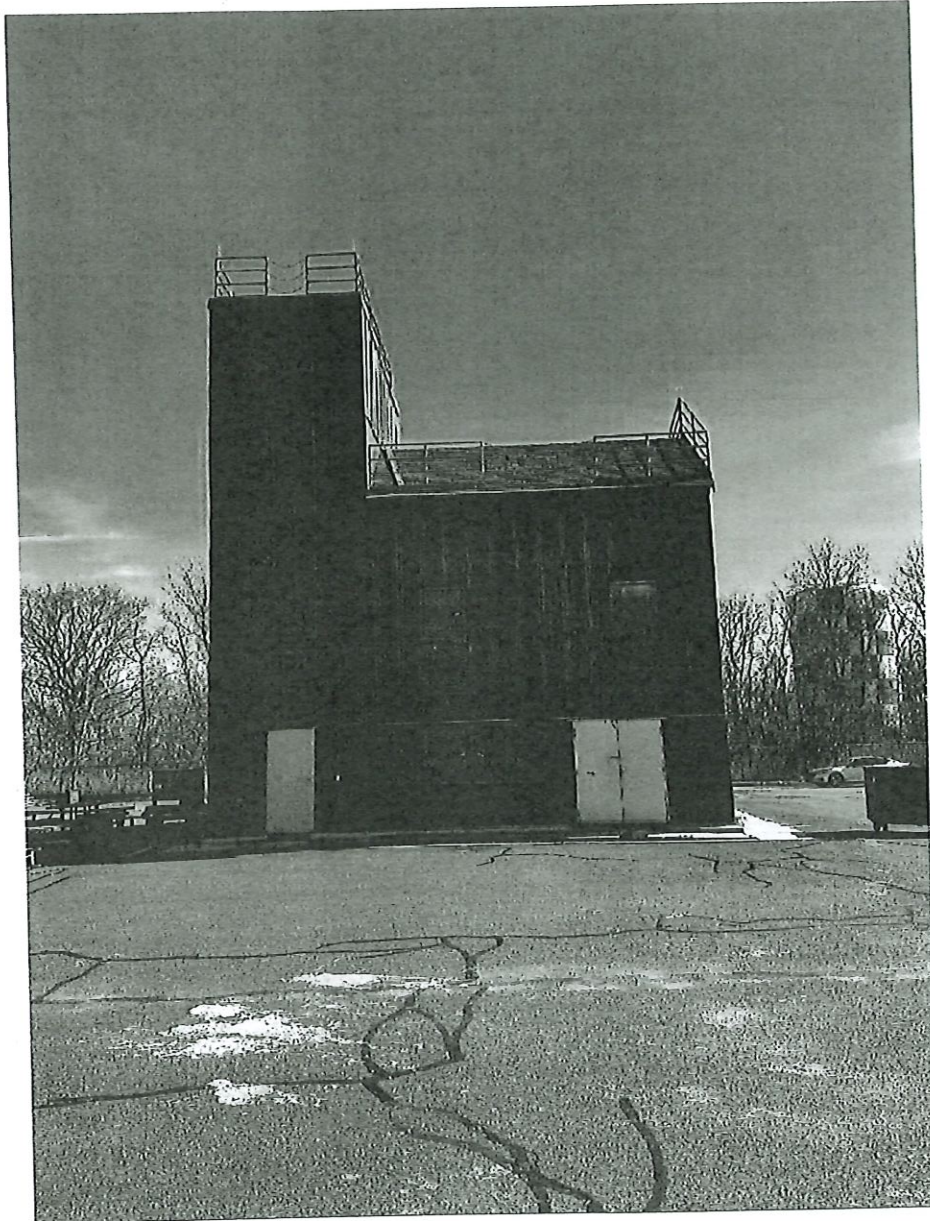


RETHINK HOW YOU TRAIN

Exterior Evaluation

Page 3

“A” Side Elevation





Exterior Evaluation

Page 4

1.2 Doors

A. 1st Floor Residential Double Door

- Poor Condition
- Skin separating at lower hinge pocket. Fig 3
- Door sweeps worn and torn. Fig 4
- Knob does not work
- Slide bolt missing catch
- Hinges need lubricated

Fig 3

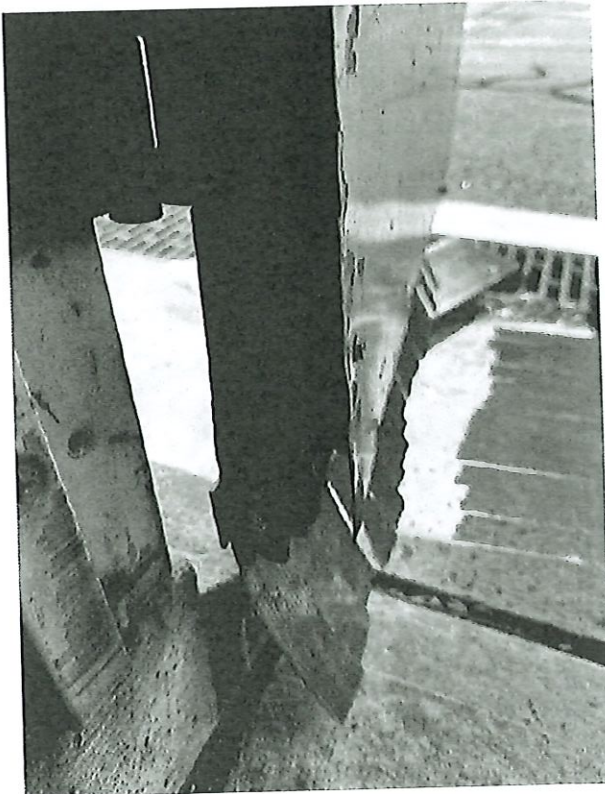


Fig 4



B. 1st Floor Tower Door

- Good condition
- Knob set and hinges need lubricated

1.3 Window Shutters

A. 1st Floor Double Shutter

- Good condition
- Hinge and handle needs lubricated

B. 2nd Floor Residential Shutter

- Good condition
- Hinge and handle needs lubricated

C. 2nd Floor Residential Burn Room Shutter

- Fair condition
- Heat damage Fig 5
- Surface rust Fig 5
- Hinge and handles need lubricated

Fig 5





RETHINK HOW YOU TRAIN

Exterior Evaluation

Page 6

"B" Side Elevation



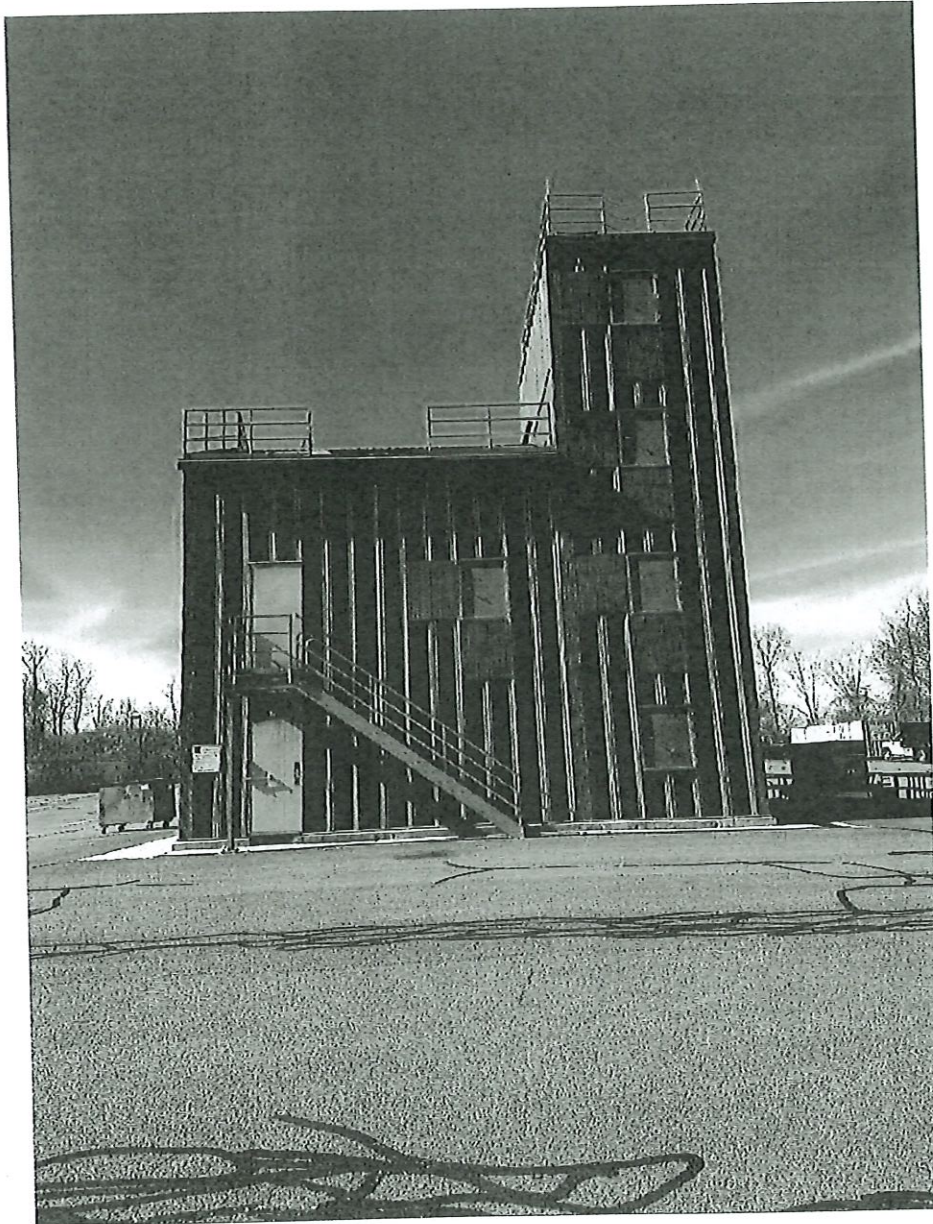
*No window shutters or doors to inspect



RETHINK HOW YOU TRAIN

Exterior Evaluation

"C" Side Elevation



1.4 Doors

A. 1st Floor Residential Burn Room Door

- Good condition
- Automatic closure needs to be adjusted to hold door closed.
- Door catch needs adjusted to function as it is intended. Fig 6
- Header rusted
- Hinges and hardware to be lubricated

Fig 6





B. 2nd Floor Residential Door

- Good condition
- Header is bent
- Strike needs to be adjusted to properly secure the door when closed.
- Hinge and hardware need to be lubricated

1.5 Window Shutters

A. 1st Floor Tower Shutter

- Good condition
- Hinges and hardware need lubricated

B. 2nd Floor Tower Shutter

- Good condition
- Missing interior and exterior handles Fig 7, Fig 8
- Hinges and hardware need lubricated

C. 2nd Floor Residential Shutter

- Good condition
- Hinges and hardware need lubricated

D. 3rd Floor Tower Shutter

- Good condition
- Catch needs to be adjusted
- Hinges and hardware need lubricated

E. 4th Floor Tower Shutter

- Good condition
- Hinges and hardware need lubricated

Fig 7

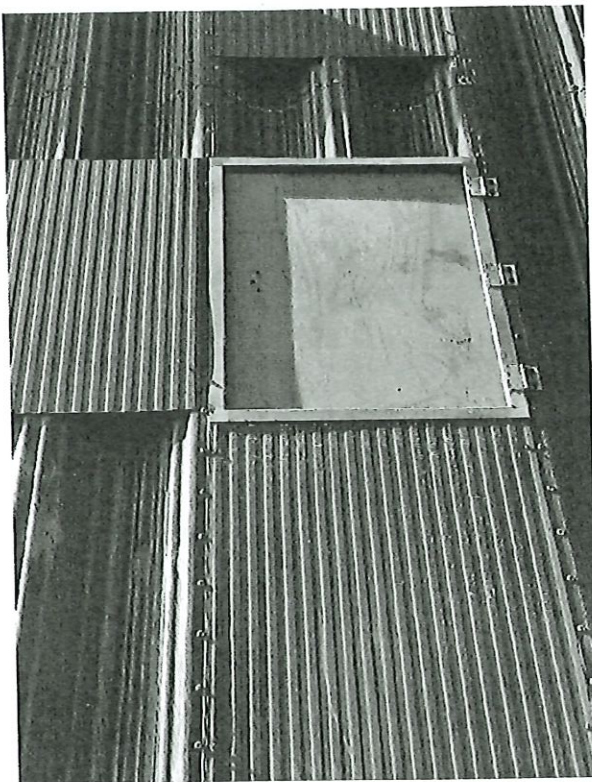


Fig 8



1.6 Exterior Stairs

- A. Columns- All connection points appear solid and secure.
- B. Stair Stringers- All connection points appear solid and secure.
- C. Stair Treads- All connection points appear solid and secure.
- D. Platform and Rails- All connection points appear solid and secure.

“D” Side Elevation





Exterior Evaluation

Page 12

1.7 Window Shutters

A. 1st Floor Burn Room Shutter

- Poor condition
- Heat damage and rust. Fig 9.
- Header burned and rusted thru. Fig 10
- Hinges and hardware need to be lubricated.

Fig 9



Fig 10





RETHINK HOW YOU TRAIN

Exterior Evaluation

Page 13

B. 1st Floor Residential Shutter

- Good condition
- Hinges and hardware need to be lubricated.

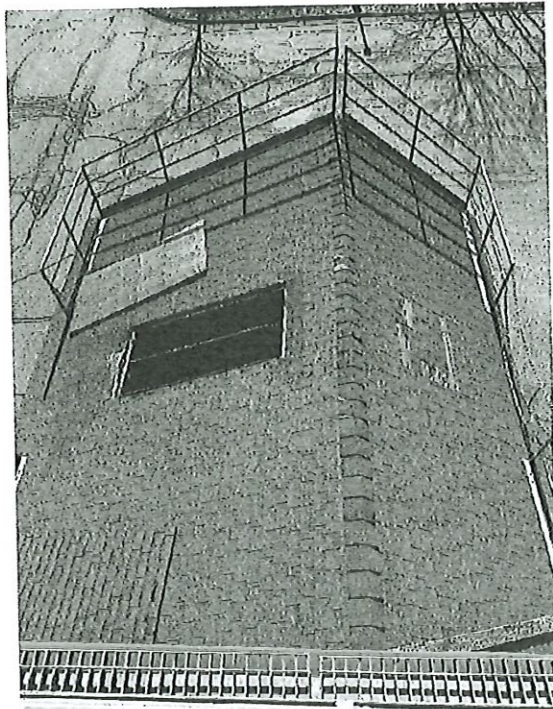
C. 2nd Floor Residential Shutter

- Good condition
- Hinges and hardware need to be lubricated.

1.8 Gabled Chop Out Roof

- Shingles torn/missing/damaged around chop outs and ridge cap. Fig 11
- Chop outs not stowed properly. Fig 11

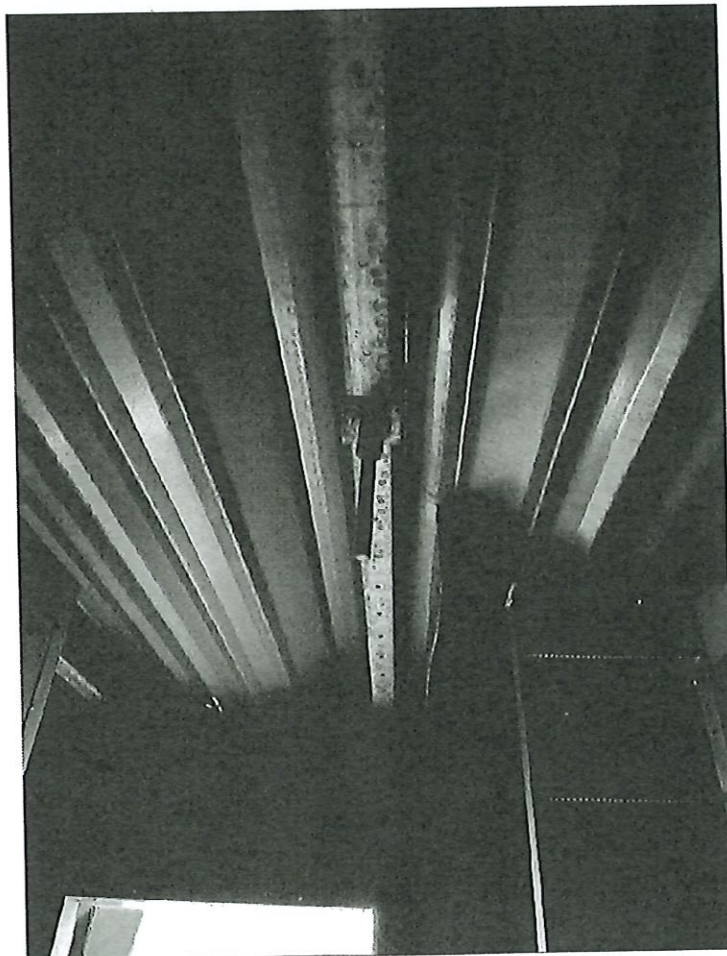
Fig 11



1.9 Tower Roof

- A. Bar Grate- All connection points appear to be solid and secure.
- B. Rails- All connection points appear to be solid and secure.
- C. Deck Hatch- All connection points appear to be solid and secure.
- D. Chain Gates- All connection points appear to be solid and secure.
- E. Rappel Anchors (4)- Not installed to current industry standards. Fig 12.

Fig 12



Interior Evaluation

2. General Condition

2.1 Floors

A. Slab on Grade

- S.O.G. appears solid and in good condition. Some spalling in 1st floor B.R.

B. Fill on Deck

- F.O.D appears solid and in good condition. Cracks throughout.

C. Joists

- 2 joists need replaced in 1st floor burn room. Fig 13
- Joists rusted outside of 1st and 2nd floor B.R.'s. Fig 14

Fig 13

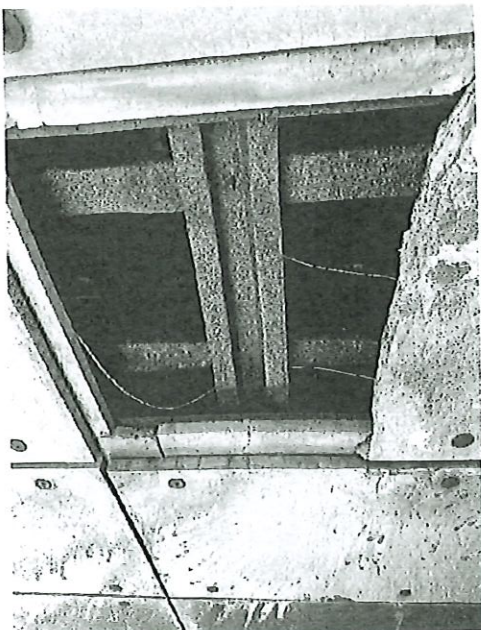


Fig 14



2.2 Walls

A. Corrugated wall panels

- Good overall condition
- Panel is burned and rusted over shutter in 1st Floor B.R. Fig 15

B. Sheet Walls

- Burned outside of 1st and 2nd floor B.R.'s. Fig 16

Fig 15

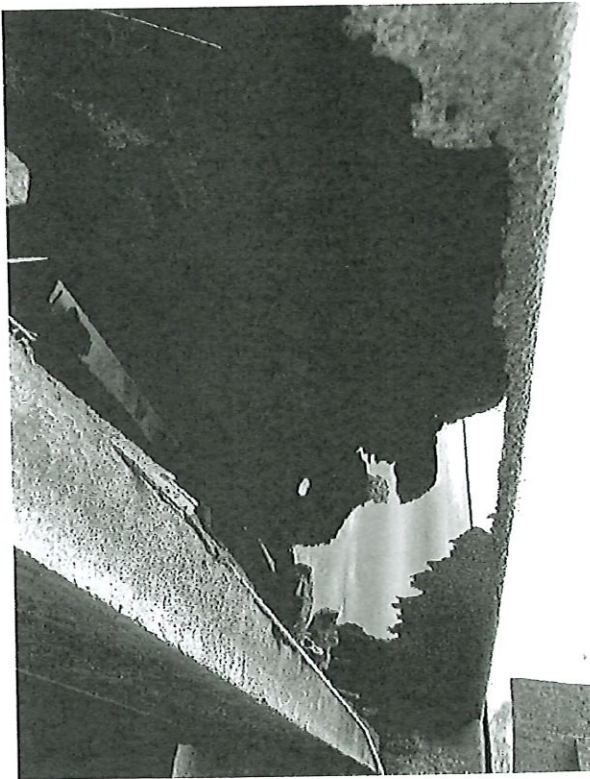


Fig 16



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2.3 Interior Stairs

- A. Stair Stringers- All connection points appear solid and secure.
- B. Stair Treads- All connection points appear solid and secure.
- C. Rails- All connection points appear solid and secure.

2.4 Ladder to Tower Roof

- All connection points appear solid and secure.

2.5 Doors

A. 1st Floor Residential to Tower

- Good condition
- Hinge and hardware need to be lubricated.

B. 1st Floor B.R. Door

- Good condition
- Header is completely burned through. Fig 17
- Automatic closure needs to be adjusted to proper tension.

Fig 17



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C. 2nd Floor Residential to Tower Door

- Good condition
- Forcible entry door

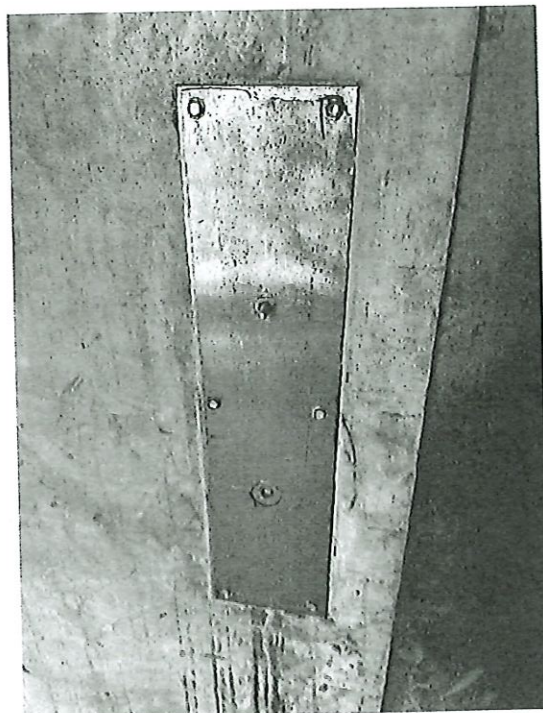
D. 2nd Floor B.R. Door

- Good condition
- Pull handle missing. Fig 18
- Hinge and hardware need lubricated.

E. Attic Access Shutter

- Fair condition
- Catch missing

Fig 18



Burn Room Evaluation

3. General Condition

1st Floor Residential Burn Room

3.1 Doors

A. Exterior Door

- Top panel needs replaced. (2-2x4 panels)
- Wrap is good

B. Interior Door

- One panel needs replaced. (2-2x4 panels)
- 1 return and 1 header need to be replaced.

3.2 Window Shutters

A. "D" Side Shutter

- Reline is needed
- 2 returns need replaced

3.3 Walls

- 14 panels and associated battens need replaced. Fig 19.
- Lower perimeter battens need replaced around whole room. Fig 20.

3.4 Ceiling

- 11 panels and battens throughout need replaced. Fig 21
- Hat channel rusted and warped at ceiling thermal breach location. Fig 22

Fig 19

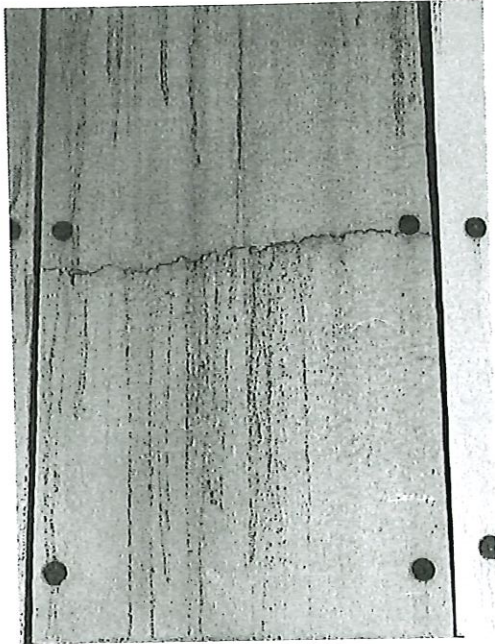


Fig 21

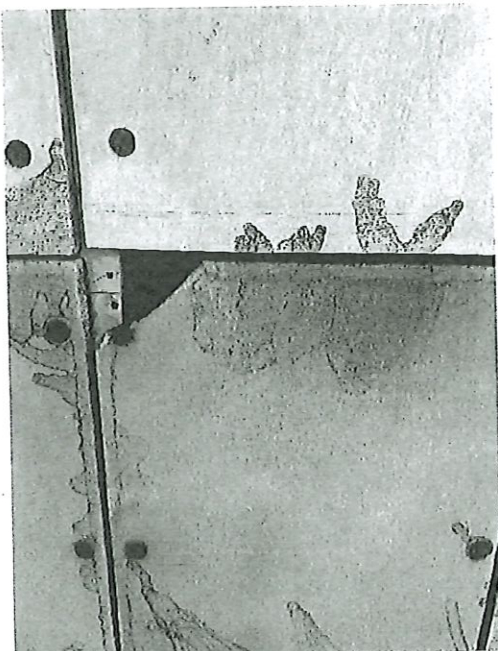


Fig 22





2nd Floor Residential Burn Room

3.5 Doors

A. Interior Door

- Thermal liner is in good condition.
- Re wrap is needed

3.6 Window Shutters

A. "A" Side Shutter

- Reline and re wrap is needed. Fig 23.

3.7 Walls

- 13 panels and associated battens need to be replaced. Fig 24

3.8 Ceiling

- 9 panels and associated battens need to be replaced. Fig 25

Fig 23



Fig 24



Fig 25



Page 23

4. Miscellaneous

4.1 Standpipe is missing handle on 4th floor

- Was not pressure tested.

4.2 Patch panel and Thermocouples

- Was not tested.
- Recommend upgrade and relocation of patch panel. Fig 26.

Fig 26





5. Conclusion

5.1 In general the burn simulator appears to be in good condition. The thermal lining in the burn rooms appears to be in fair to poor condition. The 1st floor burn room does require extensive repairs to host live fire evolutions. The 2nd floor burn room requires moderate repairs to host live fire evolutions. Any missing/damaged fasteners need to be replaced with new fasteners. It is always recommended to replace damaged thermal lining panels in the burn rooms prior to conducting any live burns. The thermal lining should be inspected for any potential damages or voids that could allow heat to escape into the wall or ceiling cavities.

6. Recommendations for Self-Maintenance

6.1 Inspect and adjust the hardware on the doors and windows quarterly. Tighten frame bolts and hinge screws to eliminate dragging. Oil the hinges, latches and working parts. Replace damaged or missing door and window hardware.

6.2 Clean debris from tower corrugated roof panels and gabled roof.

6.3 Clean the exterior of the building annually (Pressure Wash).

6.4 Clear debris burn room areas.

6.5 Prep and paint surfaces with red rust or heat damage with paint or galvanizing compound. Touching up rusted areas of the building will prevent spreading (Structural bolts, door/window headers, joists, shutters, stair/railings, anchor points on stair stringers).

6.6 Replace and tension missing fasteners in burn rooms.

6.7 Adjust all automatic closures on burn room doors.

6.8 Replace or adjust slide bolt on double door.



7. Recommendations for Repair

- 7.1 Replace panels and battens on ceiling and walls in burn rooms. (Approx. 47-2X4 super padgenite panels and associated battens.)
- 7.2 Replace liner panels on Window Shutters (4-2x4 panels)
- 7.3 Replace liner panels on doors (4-2X4 panels)
- 7.4 Replace cracked headers and return (vert leg) wraps and sills on shutters and doors in Burn Rooms (2 headers, 8 returns, and 1 sill)
- 7.5 Install thermal liner on the joists outside of all interior burn room doors. (4-2X4 panels)
- 7.6 Replace 2 joists in 1st floor burn room.
- 7.7 Recommend replacing hollow double door with new steel plate doors and hardware.
- 7.8 Replace Pull handle on 2nd floor burn room door.
- 7.9 Install angle on joist side of rappel anchors. (2 long angles)
- 7.10 Replace broken/Inoperable slam latches and handle sets. (1)
- 7.11 Replace one broken door knob set (locking)
- 7.12 Replace missing or torn door sweeps. (2)
- 7.13 Replace headers in 1st floor burn room. (1 interior and 1 exterior)
- 7.14 Recommend relocating and installing new patch panel.
- 7.15 Per NFPA 1402 Standard on Facilities for Fire Training and Associated Props 2019 version your burn rooms shall be inspected annually. This can be conducted as a self-inspection. Section 7.2.1 states "The structural integrity of live fire training structures shall be evaluated and documented annually by the owner/operator or AHJ".



7.16 We recommend an inspection of your fire training facility be performed at least once every 5 years. NFPA 1403 section 7.2.5.2 states: *"The structural integrity of the live fire training structure shall be evaluated and documented by a licensed professional engineer with live fire training structure experience, or by another competent professional as determined by the AHJ, at least once every 5 years, or more frequently if determined by the evaluator."* Because of the condition of the building please consider having the next inspection performed on your fire training structure February 2028 (5 Years).



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Contact/Company Information

CONTACT INFORMATION

TJ Lybarger

Field Project Manager/Inspector

519 Duck Road

Grandview, MO 64030

Tel 618-616-5892

Fax 800-351-2525

TJL@trainingtowers.com

COMPANY INFORMATION

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